



DESIGNER

designerDOX

designerDOX.com 713-864-6688

Copyright 2019 designerDOX  
These drawings and specifications are provided as instruments of service. They have been prepared by the Designer as an independent contractor, not as an employee of the builder or owner. These drawings, details, designs, ideas, and specifications are the copyrighted work of the designer. They are not to be used on other projects, repeat construction, or extensions or modifications to this project without written consent and compensation to the Designer. The Designer will not be responsible for any construction means, methods, techniques or procedures, or for safety precautions and program in connection with the project. Designer assumes no liability for any structure built from these plans. Before construction, the owner, builder, or contractor must verify all dimensions, site conditions and building lines, and verify compliance with all applicable building codes for the site in which it is to be built. A qualified engineer must design the structure and foundation to conform to the needs of the specific site, local conditions, and geographic location in which it is to be built.

PROJECT

254 Kansas Ave.

A New Multi-Family Apartment Building

Henderson, NV  
89015

OWNER

CONSULTANTS

ISSUE

06/00/2019 Client Review

NOT FOR REGULATORY  
APPROVAL, PERMITTING, OR  
CONSTRUCTION

Project No: #Building ID

SHEET Print Date 2/24/20

Design Review

DR-1.1

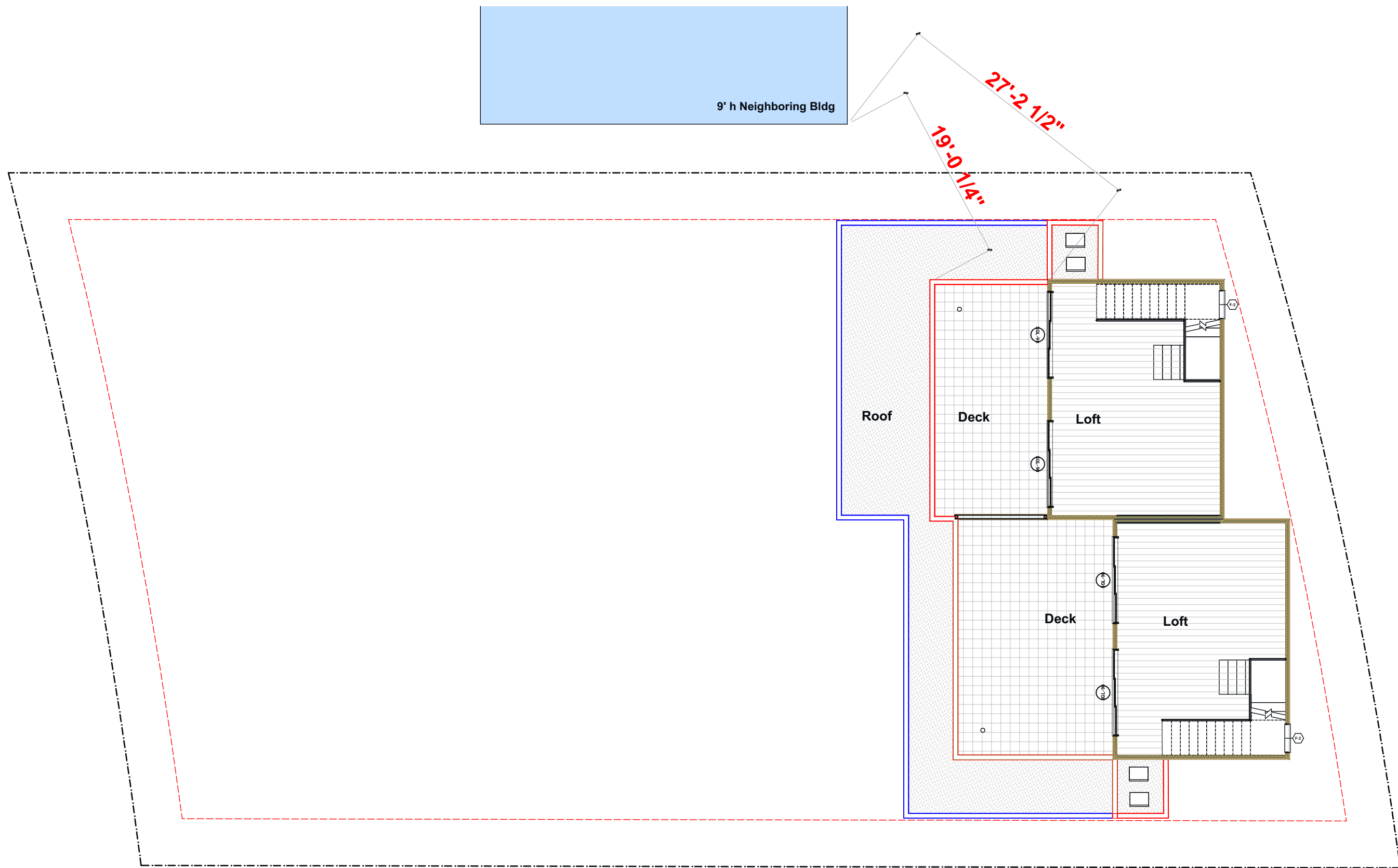
PDG

Contact: Joe Yakubik  
702-868-0800  
info@assuredhvy.com

Comments | 254 Kansas

Application No.: CPR-2019004211  
Project Planner: Ryan Loomis

Shown on Sheet	Description	Notes
1.	The proposed density is 30 du/acre with the 7 units. Per Downtown MP, Basic Townsite lots over 10,000 SF are permitted between 8 du/s and 24 du/s per acre. (CD)	Lot Area: 9925 sf per Survey
2.	Future submittal includes a Design Review with Modification due to density over allowable density. This requires Planning Commission review. (CD)	Lot Area: 9925 sf per Survey
3.	Please ensure future Design Review application provides items requested on checklist, including items requested below. (CD)	
4.	A-1.0 Site Plan Ensure site plan provides legible dimensions, street names, alley, setbacks, etc. (CD)	
5.	A-1.0 Site Plan Remove floorplan items (doors, rooms, etc.) from the site plan. (CD)	
6.	A-1.0 Site Plan Label on site plan the walls, utility boxes, etc. A six-foot high (6 ft.) privacy fence (decorative masonry, vinyl, wood, or opaque vegetative) is required when abutting a single-family residential lot. (CD)	
7.	A-1.0 Site Plan Show the outline of the building and all setbacks. Building is over parking? (CD)	Bldg over parking deleted
8.	A-0.0 Cover Sheet Provide site data information as far as # of units proposed, open space, etc. (CD)	
9.	In Title Block of all plan sheets Provide north arrow with actual and plan north. Ensure elevation sheets have correct direction. (CD)	
10.	A-1.0 Site Plan Provide parking space widths. (CD)	
11.	A-1.0 Site Plan Show a bicycle parking space. Provide at least one bicycle rack where no less than four bikes may be accommodated. (CD)	
12.	A-1.0 Site Plan Elevations seem to show two separate buildings, but floorplans	Corrected
13.	Attached narrative Architecture of buildings needs enhancement. Please see Downtown MP for architecture types and features/elements. Buildings need to provide 4-sided architecture. Please provide narrative of architectural style to justify compliance with the masterplan. (CD)	TBD
14.	A-1.0 Site Plan Show location of proposed dumpsters. Provide screening per Henderson Development	
15.	A-1.3 Roof Plan Please show location of any mechanical equipment, such as HVAC. Provide screening per Title 19.7.5.H, Mechanical Equipment Screening. (CD)	MEP to provide sizing, preferred location for AC condensers
16.	A-1.0 Site Plan Please show amount of open space. Per Downtown MP, all development is required to provide 100 square feet of common open space per residential unit, or provide a fee-in-lieu if open space not	400 sf required. 590 sf provided.
17.	Include a landscape plan. Anytime when a development will not occupy an entire site, those areas not being used for buildings, parking or required common open space will be required to be landscaped with a sufficient number of trees and shrubs as to provide shade and a pleasant environment for pedestrians and visitors to a site. In addition, the number and spacing of the trees and shrubs located on site shall be such as to ensure the planted materials will remain healthy at full maturity. Quantities of trees and shrubs will be determined per the guidelines of the City of Henderson Urban Forester. (CD)	TBD
18.	Clarify if any portion of this development will be marketed as age-restricted. (CD)	
19.	Provide a utility layout showing location of fire line and domestic backflow devices. (US)	
20.	An NFPA 13 fire sprinkler system and fire alarm system is required. A one hour rated fire riser room is required. (FD)	
21.	Applicant shall submit a drainage study for Public Works approval. (PW-FLD)	
22.	Applicant shall submit Civil Improvement Plans per Public Works requirements (PW-ND)	
23.	A traffic impact study will be required. (PW-TR)	
24.	Tree canopies should be no lower than six feet and shrubs/bushes no taller than three feet in height. (CP)	To be shown on full landscape drawings to follow.



Adjacent Buildings 11

SCALE: 3/32" = 1'-0"



Materials | Elevation | East (Front) 09

SCALE: 3/16\" = 1'-0"

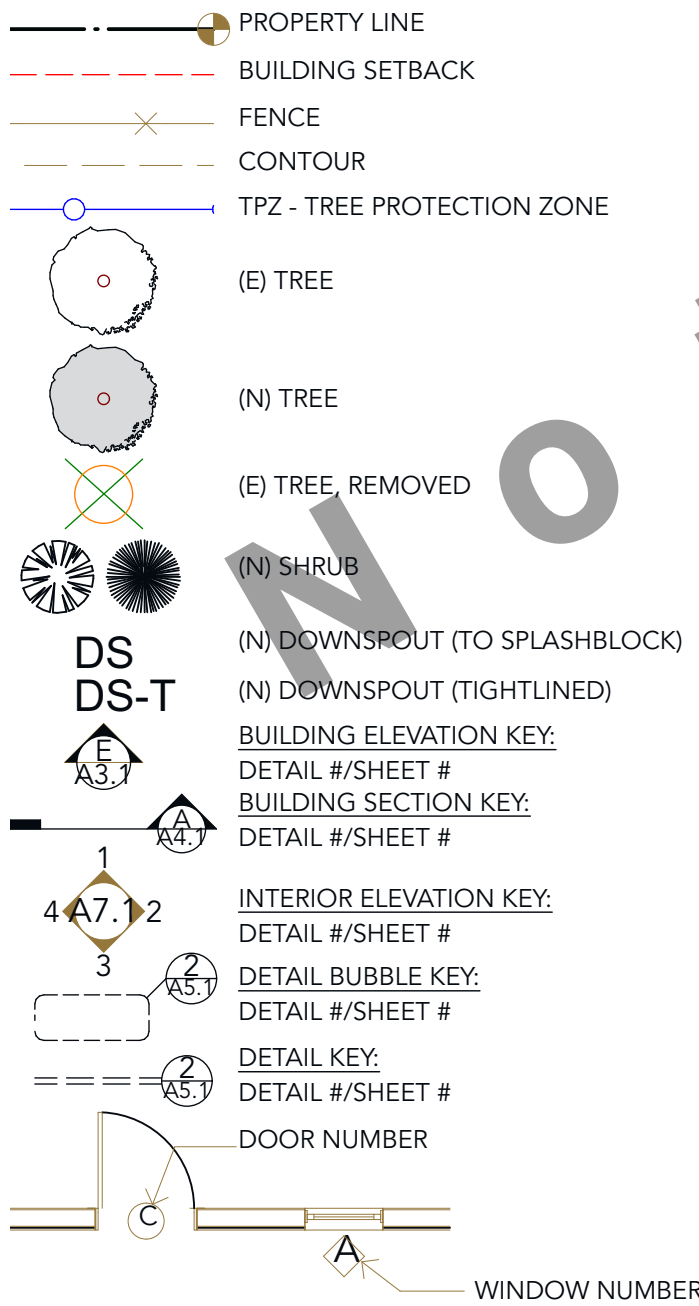


Abbreviations

AC	AIR CONDITIONING
ADJ	ADJUSTABLE
AFF	ABOVE FINISH FLOOR
APPR	APPROXIMATELY
ATTN	ATTENTION
BRD	BOARD
BLDG	BUILDING
BO	BOTTOM OF
CIP	CAST IN PLACE
CLG	CEILING
CLOS	CLOSET
CLR	CLEAR
CONC	CONCRETE
CONT	CONTINUOUS
CSMT	CASEMENT
DBL	DOUBLE
DH	DOUBLE HUNG
DEMO	DEMOLISH
DET	DETAIL
DIM	DIMENSION
DR	DOOR
DWG	DRAWING
(E)	EXISTING
EA	EACH
ELEV	ELEVATION
EQ	EQUAL
ETC	ETCETERA
EXG	EXISTING
EXT	EXTERIOR
FD	FLOOR DRAIN
FG	FIXED GLASS
FF	FINISH FLOOR
FFE	FINISH FLOOR ELEVATION
FS	FINISH SLAB
FSE	FINISH SLAB ELEVATION
FIN	FINISH
FLR	FLOOR
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOS	FACE OF STUD
GA	GAGE OR GAUGE
GALV	GALVANIZED
GL	GLASS
HB	HOSE BIBB
HS	HORIZONTAL SLIDER
HORZ	HORIZONTAL
HVAC	HEATING VENTING AND AIR CONDITIONING
INCL	INCLUDES OR INCLUDING
INT	INTERIOR
LAV	LAVATORY
LF	LINEAR FEET
LIN	LINEN
MAT	MATERIAL
MFR	MANUFACTURER
MAX	MAXIMUM
MIN	MINIMUM
MIW	MAKE IT WORK
(N)	NEW
NIC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OCBW	ON CENTER BOTH WAYS
OY	OVER
OSB	ORIENTED STRAND BOARD
RCP	REFLECTED CEILING PLAN
REQD	REQUIRED
RM	ROOM
RO	ROUGH OPENING
SF	SQUARE FOOT/FOOTAGE
SH	SINGLE HUNG
SHLVS	SHELVES
SIM	SIMILAR
SCD	SEE CIVIL DRAWINGS
SLD	SEE LANDSCAPE DRAWINGS
SSD	SEE STRUCTURAL DRAWINGS
SGL	SLIDING GLASS DOOR
STOR	STORAGE
S&R	SHELF AND ROD
T&G	TONGUE AND GROOVE
TBD	TO BE DETERMINED
TO	TOP OF
TOS	TOB OF SLAB
TYP	TYPICAL
UBC	UNIFORM BUILDING CODE
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
VIF	VERIFY IN FIELD
W/	WITH
WC	WATER CLOSET
WH	WATER HEATER
WIN	WINDOW



Symbol Legend



Vicinity Map



Sheet Index

DR-1.1	Design Review
Architectural	
A-0.0	Project Info
A-0.1	Plan I Site
A-1.1	Plan I 1st, 2nd Level
A-1.3	Plan I Bldg I 3rd Level, Roof
A-2.1	Exterior Elevations
A-3.1	Sections
A-4.1	Wall Sections
A-5.1	Details I Exterior
A-5.2	Details I Stairs
E-1.1	Plans I Electrical
Structural	
S-1.1	Schematic Structural Plans NFC

Lot Info	254 Kansas
Subdivision Name:	Henderson Townsite
Lot 14 Block 9	
Lot Square Footage:	9925.25 sf
Building Footprint:	2289 sf
	23% coverage of Lot
Common Open Space	590 sf
Unit Info	
Unit A	1141 sf 2-Bedroom
Unit B	1148 sf 2-Bedroom
Unit C	2006 sf 2-Bedroom + Loft
Unit D	2114 sf 2-Bedroom + Loft
Total AC	6409 sf
Age Restrictions	No portion of this development will be marketed as age-restricted
Parking Spaces	
Spaces Required	4
Standard Spaces provided	5
Compact Spaces provided	5
Total Spaces provided	10
	+4 on-street adjacent
Fire Sprinklers	NFPA 13 fire sprinkler system and fire alarm system



DESIGNER

designerDOX

designerDOX.com 713-864-6688

Copyright 2019 designerDOX  
These drawings and specifications are provided as instruments of service. They have been prepared by the Designer as an independent contractor, not as an employee of the builder or owner. These drawings, details, designs, ideas, and specifications are the copyrighted work of the designer. They are not to be used on other projects, repeat construction, or extensions or modifications to this project without written consent and compensation to the Designer. The Designer will not be responsible for any construction means, methods, techniques or procedures, or for safety precautions and program in connection with the project. Designer assumes no liability for any structure built from these plans. Before construction, the owner, builder, or contractor must verify all dimensions, site conditions and building lines, and verify compliance with all applicable building codes for the site in which it is to be built. A qualified engineer must design the structure and foundation to conform to the needs of the specific site, local conditions, and geographic location in which it is to be built.

PROJECT

254 Kansas Ave.

A New Multi-Family Apartment Building

Henderson, NV  
89015

OWNER

CONSULTANTS

ISSUE

06/00/2019 Client Review

NOT FOR REGULATORY  
APPROVAL, PERMITTING, OR  
CONSTRUCTION

Project No: #Building ID  
SHEET Print Date 2/24/20

Project Info

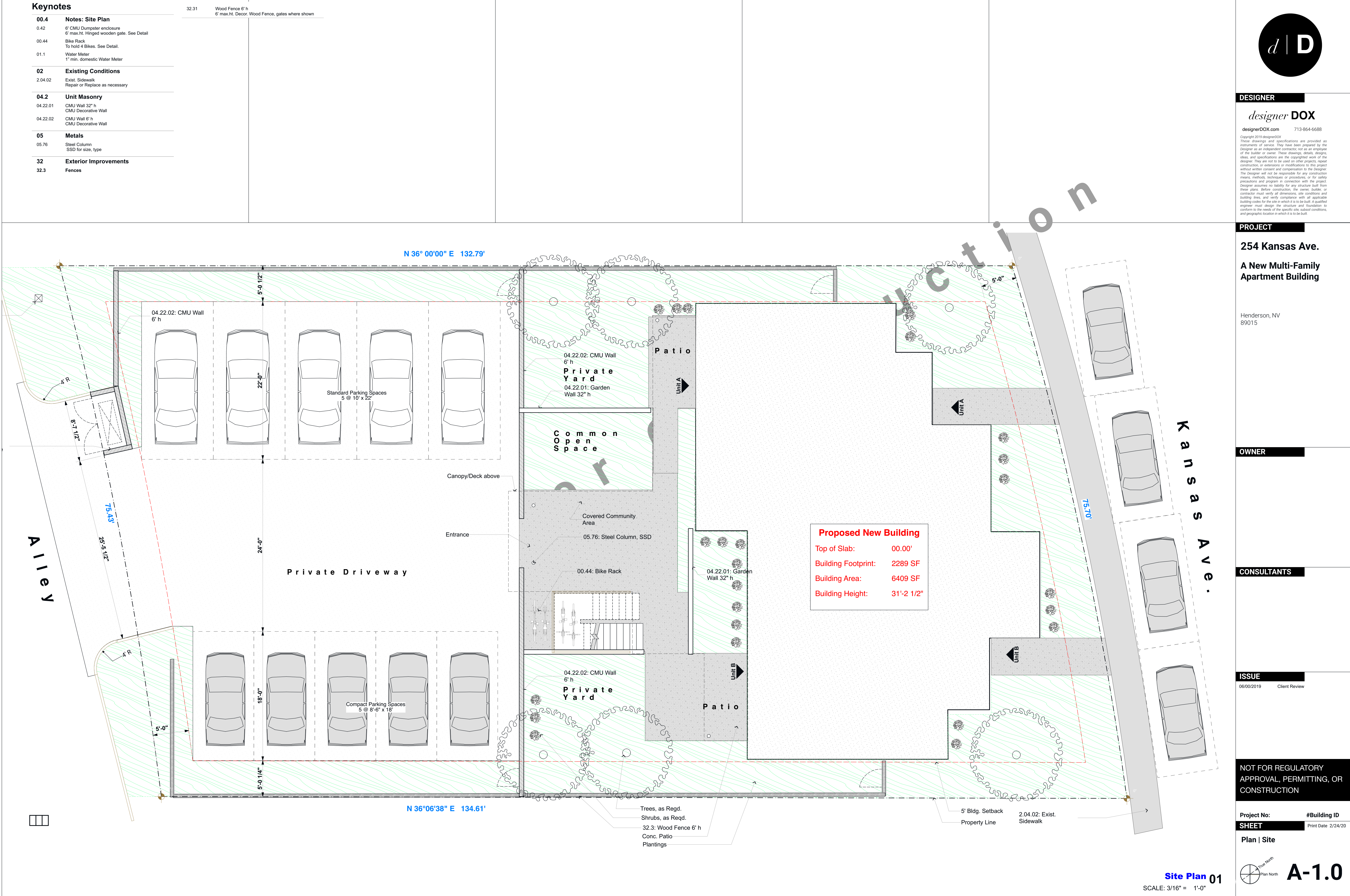
A-0.0



Keynotes

00.4	<b>Notes: Site Plan</b>
0.42	6' CMU Dumpster enclosure 6' max.ht. Hinged wooden gate. See Detail
00.44	Bike Rack To hold 4 Bikes. See Detail.
01.1	Water Meter 1" min. domestic Water Meter
02	<b>Existing Conditions</b>
2.04.02	Exist. Sidewalk Repair or Replace as necessary
04.2	<b>Unit Masonry</b>
04.22.01	CMU Wall 32" h CMU Decorative Wall
04.22.02	CMU Wall 6' h CMU Decorative Wall
05	<b>Metals</b>
05.76	Steel Column SSD for size, type
32	<b>Exterior Improvements</b>
32.3	Fences

32.31 Wood Fence 6' h  
6' max.ht. Decor. Wood Fence, gates where shown



DESIGNER

designerDOX

designerDOX.com 713-864-6688

Copyright 2019 designerDOX  
These drawings and specifications are provided as instruments of service. They have been prepared by the Designer as an independent contractor, not as an employee of the builder or owner. These drawings, details, designs, ideas, and specifications are the copyrighted work of the designer. They are not to be used on other projects, repeat construction, or extensions or modifications to this project without written consent and compensation to the Designer. The Designer will not be responsible for any construction means, methods, techniques or procedures, or for safety precautions and program in connection with the project. Designer assumes no liability for any structure built from these plans. Before construction, the owner, builder, or contractor must verify all dimensions, site conditions and building lines, and verify compliance with all applicable building codes for the site in which it is to be built. A qualified engineer must design the structure and foundation to conform to the needs of the specific site, subsoil conditions, and geographic location in which it is to be built.

PROJECT

254 Kansas Ave.

A New Multi-Family  
Apartment Building

Henderson, NV  
89015

OWNER

CONSULTANTS

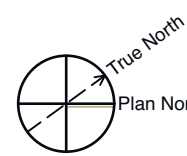
ISSUE

06/00/2019 Client Review

NOT FOR REGULATORY  
APPROVAL, PERMITTING, OR  
CONSTRUCTION

Project No: #Building ID  
SHEET Print Date 2/24/20

Plan | Site



A-1.0

Site Plan 01

SCALE: 3/16" = 1'-0"



Keynotes	
03	Concrete
03.01.04	Concrete Patio Reinf. Conc. Slab. Re Struct. Dwggs.
05	Metals
05.76	Steel Column SSD for size, type



DESIGNER

designerDOX

designerDOX.com 713-864-6688

Copyright 2019 designerDOX  
These drawings and specifications are provided as instruments of service. They have been prepared by the Designer as an independent contractor, not as an employee of the builder or owner. These drawings, details, designs, ideas, and specifications are the copyrighted work of the designer. They are not to be used on other projects, repeat construction, or extensions or modifications to this project without written consent and compensation to the Designer. The Designer will not be responsible for any construction means, methods, techniques or procedures, or for safety precautions and program in connection with the project. Designer assumes no liability for any structure built from these plans. Before construction, the owner, builder, or contractor must verify all dimensions, site conditions and building lines, and verify compliance with all applicable building codes for the site in which it is to be built. A qualified engineer must design the structure and foundation to conform to the needs of the specific site, natural conditions, and geographic location in which it is to be built.

PROJECT

254 Kansas Ave.

A New Multi-Family  
Apartment Building

Henderson, NV  
89015

OWNER

CONSULTANTS

ISSUE

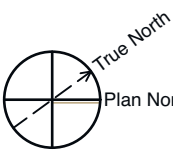
06/00/2019 Client Review

NOT FOR REGULATORY  
APPROVAL, PERMITTING, OR  
CONSTRUCTION

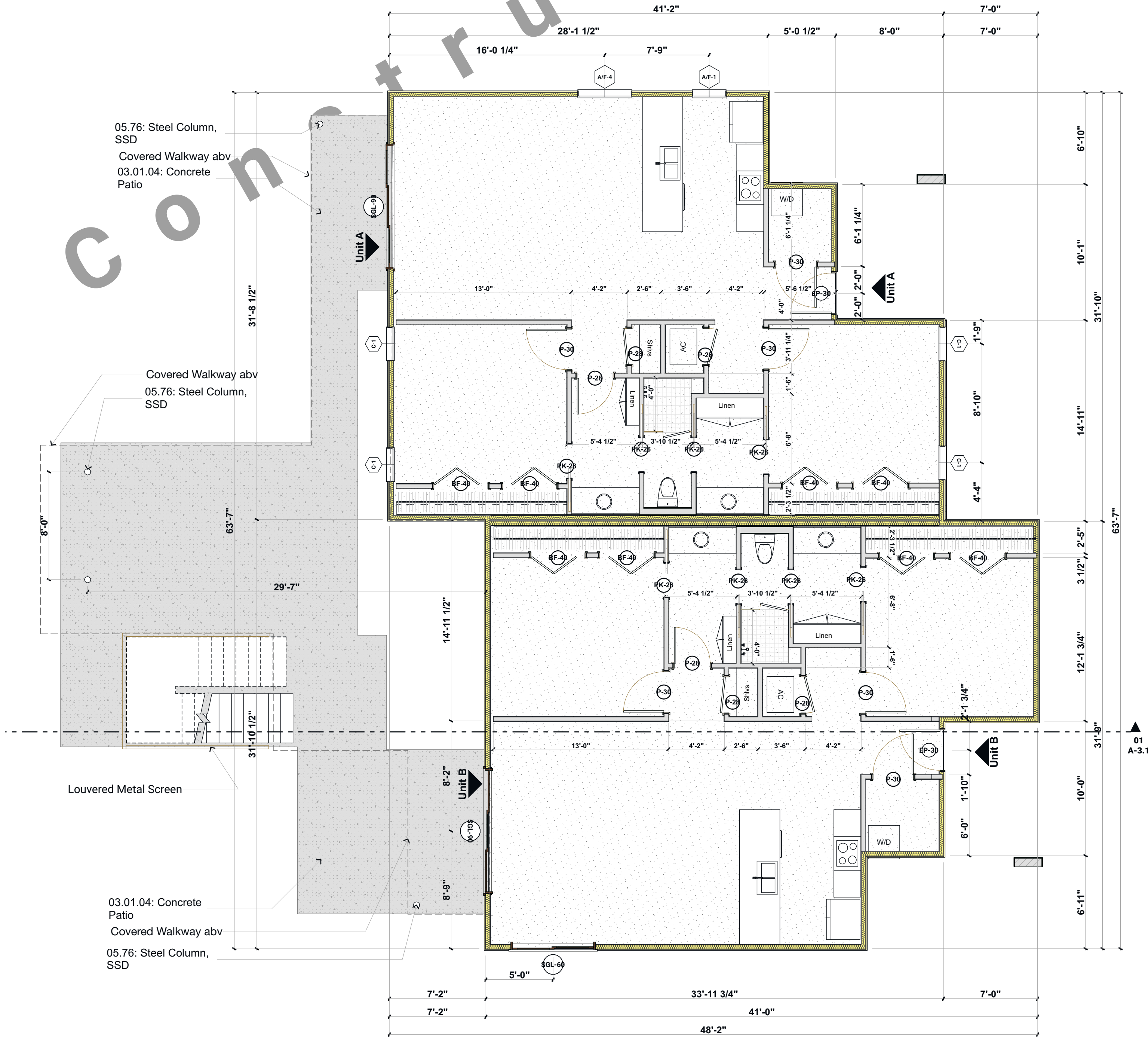
Project No: #Building ID

SHEET Print Date 2/24/20

Plan | 1st Level



A-1.1

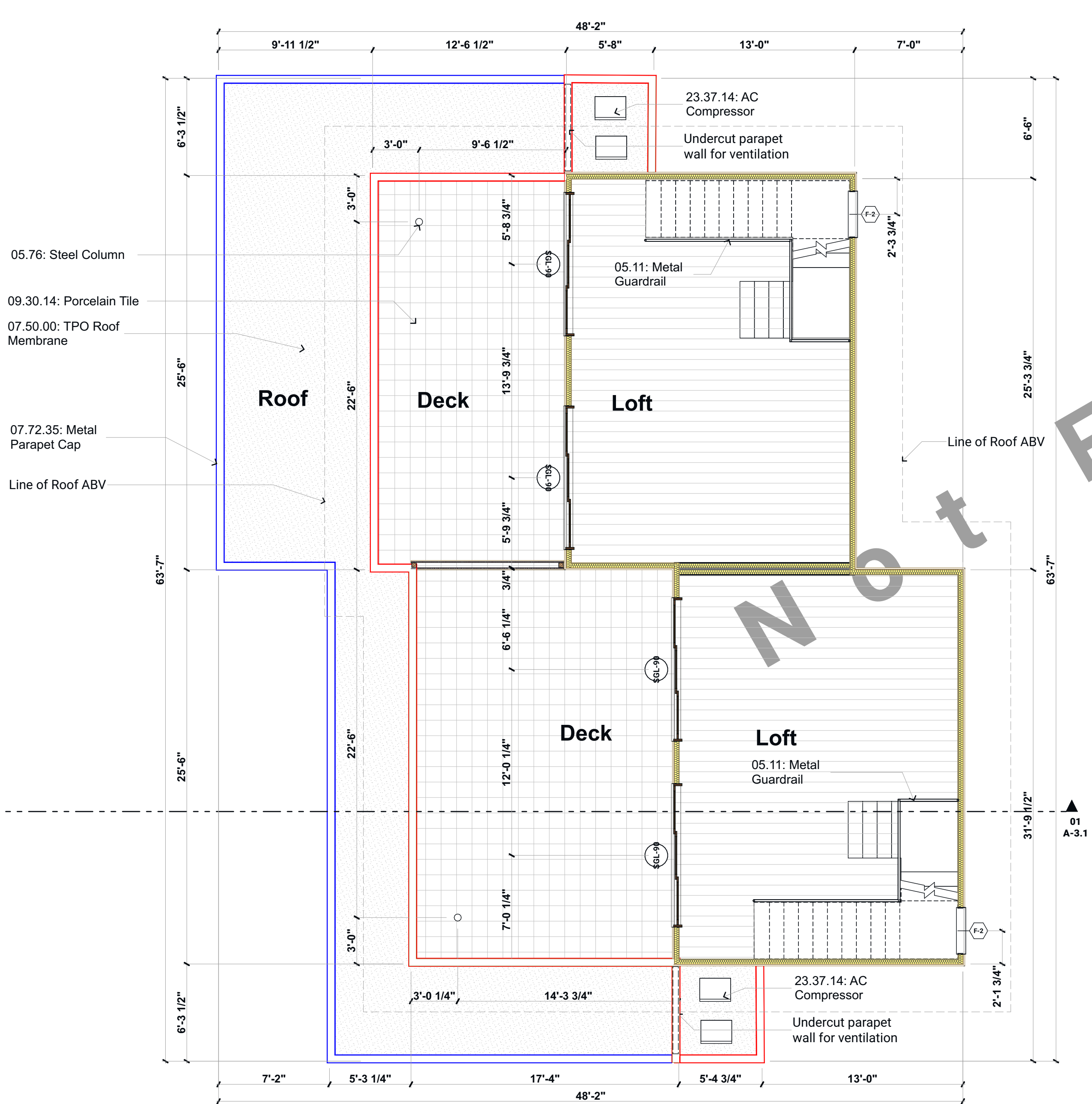


Flooplan | 1st Level 01

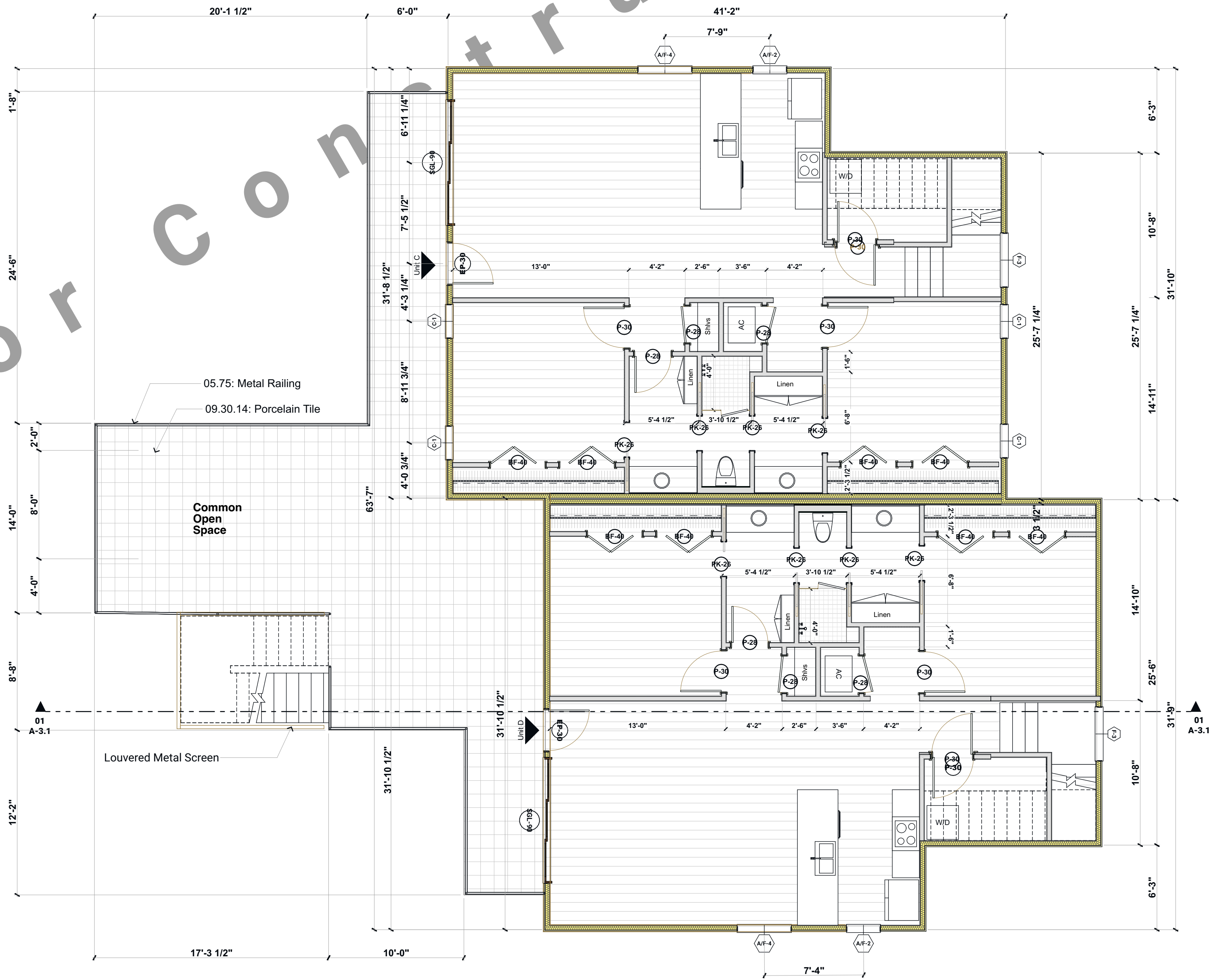
SCALE: 3/16" = 1'-0"




Keynotes	
05	<b>Metals</b>
05.11	Metal Guardrail 36" min. height; Open spaces to be <4"; To resist 200 lb. load from any direction
05.12	Metal Railing 36" min. height; Open spaces to be <4"; To resist 200 lb. load from any direction
05.76	Steel Column SSD for size, type
07.3	<b>Roofing</b>
07.50.00	TPO Roof Membrane Over 1/2" plywd or OSB o/ roof structure.
07.72.35	Metal Parapet Cap
09	<b>Finishes</b>
09.3	<b>Tile</b>
09.30.14	Porcelain Tile Thin set, Slip-resistant
23	<b>HVAC</b>
23.37.14	AC Compressor



Floorplan | 3rd Level 04  
SCALE: 3/16" = 1'-0"



Floorplan | 2nd Level 01  
SCALE: 3/16" = 1'-0"



**DESIGNER**

designerDOX.com 713-864-6688

Copyright 2019 designerDOX  
These drawings and specifications are provided as instruments of service. They have been prepared by the Designer as an independent contractor, not as an employee of the builder or owner. These drawings, details, designs, ideas, and specifications are the copyrighted work of the designer. They are not to be used on other projects, repeat construction, or extensions or modifications to this project without written consent and compensation to the Designer. The Designer will not be responsible for any construction means, methods, techniques or procedures, or for safety precautions and program in connection with the project. Designer assumes no liability for any structure built from these plans. Before construction, the owner, builder, or contractor must verify all dimensions, site conditions and building lines, and verify compliance with all applicable building codes for the site in which it is to be built. A qualified engineer must design the structure and foundation to conform to the needs of the specific site, natural conditions, and geographic location in which it is to be built.

**PROJECT**

**254 Kansas Ave.**

**A New Multi-Family Apartment Building**

Henderson, NV  
89015

**OWNER**

**CONSULTANTS**

**ISSUE**


06/00/2019 Client Review

**NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION**

Project No: #Building ID

**SHEET** Print Date 2/24/20

Plan | 2nd, 3rd Level



True North  
Plan North

**A-1.2**



Keynotes

07.3	Roofing
07.50.00	TPO Roof Membrane Over 1/2" plywd or OSB c/ roof structure.
07.72.35	Metal Parapet Cap
07.4	Claddings
07.46.23	Wood Siding
07.46.48	Stucco
09.24.23	Stucco Finish 1" Cement Stucco over Metal Lath over drainage plane over Housewrap
09.24.24	Stucco Soffit 1" Cement Stucco over Metal Lath over drainage plane over Housewrap
09.24.25	Stucco Finish 1" Cement Stucco over Metal Lath over drainage plane over Housewrap



DESIGNER

designerDOX

designerDOX.com 713-864-6688

Copyright 2019 designerDOX  
These drawings and specifications are provided as instruments of service. They have been prepared by the Designer as an independent contractor, not as an employee of the builder or owner. These drawings, details, designs, ideas, and specifications are the copyrighted work of the designer. They are not to be used on other projects, repeat construction, or extensions or modifications to this project without written consent and compensation to the Designer. The Designer will not be responsible for any construction means, methods, techniques or procedures, or for safety precautions and program in connection with the project. Designer assumes no liability for any structure built from these plans. Before construction, the owner, builder, or contractor must verify all dimensions, site conditions and building lines, and verify compliance with all applicable building codes for the site in which it is to be built. A qualified engineer must design the structure and foundation to conform to the needs of the specific site, soil/soil conditions, and geographic location in which it is to be built.

PROJECT

254 Kansas Ave.

A New Multi-Family  
Apartment Building

Henderson, NV  
89015

OWNER

CONSULTANTS

ISSUE

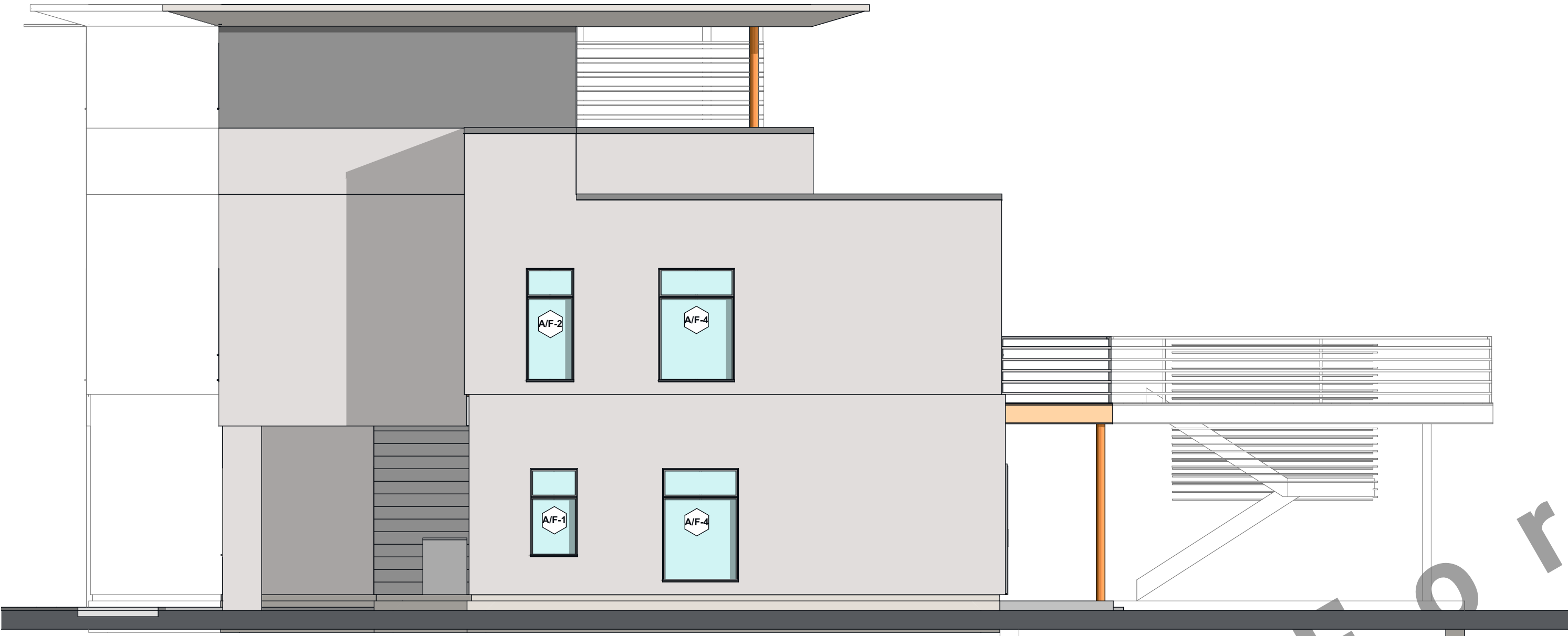
06/00/2019 Client Review

NOT FOR REGULATORY  
APPROVAL, PERMITTING, OR  
CONSTRUCTION

Project No: #Building ID  
SHEET Print Date 2/24/20

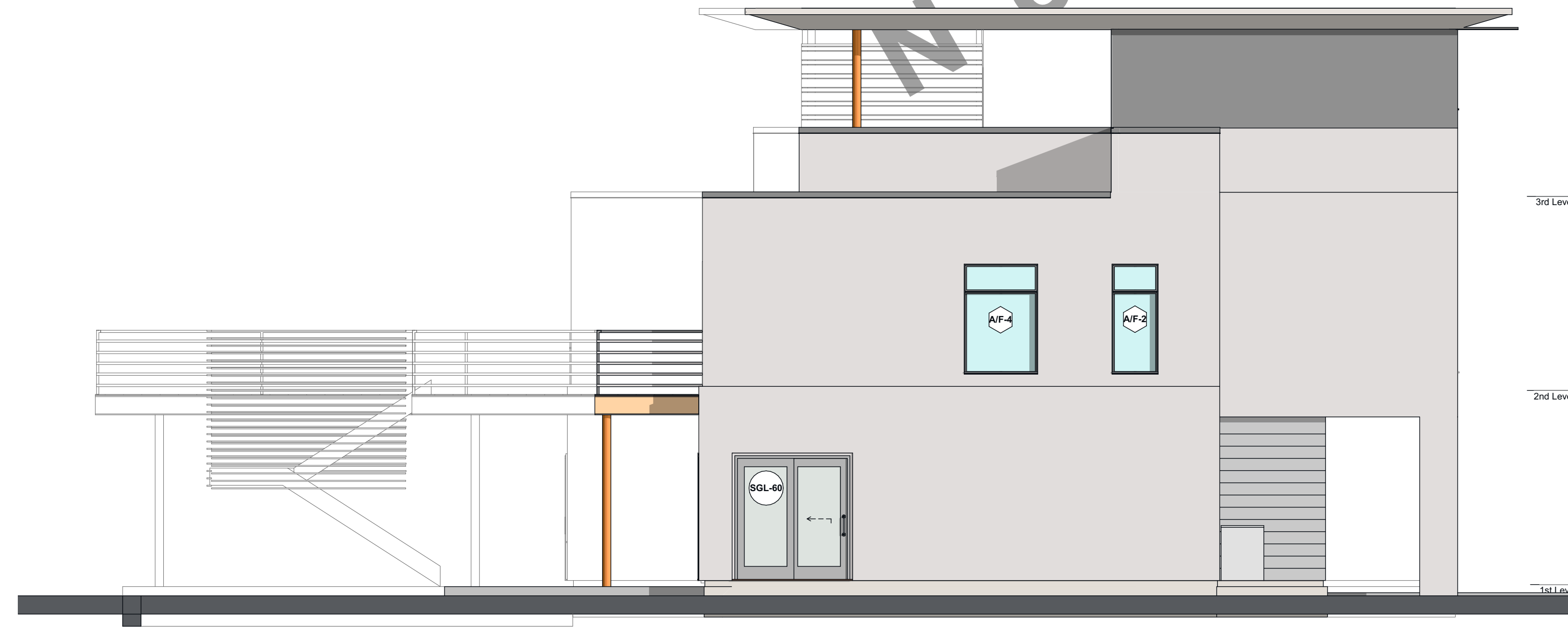
Exterior Elevations

A-2.1



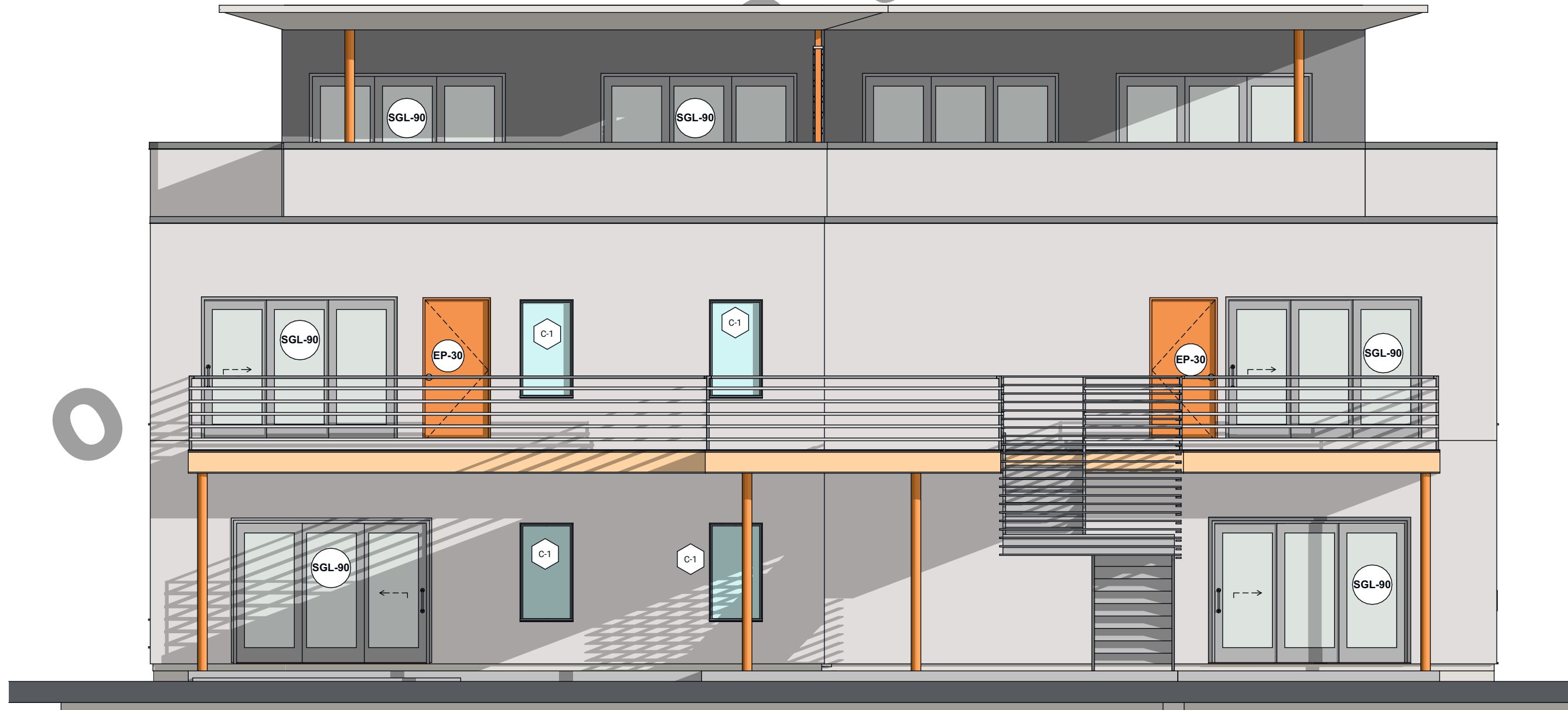
North Elevation 10

SCALE: 3/16" = 1'-0"



South Elevation 09

SCALE: 3/16" = 1'-0"



West Elevation 02

SCALE: 3/16" = 1'-0"



Elevation | East (Front) 01

SCALE: 3/16" = 1'-0"